

OWNER:
GENESIS HEALTH CLUBS
1551 North Rock Road
Wichita, Kansas
316-634-0094 Phone
316 634-0819 Fax
Contact: Rodney Steven

DESIGN CONSULTANTS:
ARCHITECT:
HANNEY & ASSOCIATES ARCHITECTS
1728 S Hillside
Wichita, Kansas 67211
(316) 6831-8965 phone
(316) 684-1441 fax
Contact: Martin Hanney

MECHANICAL Engineer:
MECHANICAL CONCEPTS
14801 Timberlake Road
Wichita, Kansas 67230
(316) 733-2718
(877) 839-4680 fax
Contact: Richard Bowman

PLUMBING Engineer:
MECHANICAL CONCEPTS
14801 Timberlake Road
Wichita, Kansas 67230
(316) 733-2718
(877) 839-4680 fax
Contact: Richard Bowman

ELECTRICAL Engineer:
HOSS & BROWN ENGINEERS, INC.
15902 Midland Drive
Shawnee, Kansas 66217
(913) 362-9090 phone
(913) 362-XXXX fax
Contact: Casey Steiner

STRUCTURAL Engineer:
TOMETICH ENGINEERING INC.
10501 Buena Vista Ct.
Urbandale, Iowa 50322
(515) 280-8022
(515) 727-9124 fax
Contact: Brant Bristow, P.E.

PROJECT INFORMATION
New Health Club & Sports Venue
Renovate Former Sears Building
Location: Southridge Mall
1111 East Army Post Road
Des Moines, Iowa
Zoning - CX- Mixed Use District
and CX-V

PROJECT USE / TYPE
Sports & Recreation, Private/Participant: Indoor

DETAILED DESCRIPTION OF OPERATION
GENESIS HEALTH CLUBS employees throughout the week:
Monday - Friday
4:00 - 8:00 AM - 5 employees
8:00 - 9:00 AM - 25 employees
9:00AM- 11:00 PM - 10 employees

Saturday & Sunday
All Day - 10 employees

HOURS OF OPERATION:
4:00 a.m. to 11 p.m. Monday through Sunday

The Plans Shall Comply With The Following:
2016 International Building Code (IBC)
2021 International Mechanical Code (IMC)
2015 International Energy Conservation Code (IECC)
2018 National Fuel Gas Code
2021 Uniform Plumbing Code (UPC) *w/ Iowa adm.
2020 National Electrical Code (NEC)
2018 Existing Building Code (IEBC)
2010 American's with Disabilities Act (ADA)
2009 ICC/ANSI-A117.1
2016 NFPA 13, NFPA 14, NFPA 72, NFPA 110
2018 International Fire Code (IFC) with amendments in Chapter 46 of the Des Moines Municipal Code

LEGAL DESCRIPTION:

A Portion of the MACERICH CAMPUS, which is defined as LOTS 11, 12, 13 and 15, in Southridge Plat Number 2, an Auditor's Plat, all now included in and forming a part of the City of Des Moines, Polk County, Iowa.

Refer to Sheet CODE 2 for a detailed Legal Description of the new Genesis property.

CODE HISTORY & INFORMATION:

1974-76 SEARS ANCHOR BUILDING IS BUILT AS PART OF THE ARMY POST MALL PROJECT.
1998 +/- SEARS BUILDING HAS A FULL INTERIOR AND EXTERIOR FACADE RENOVATION.
2012 +/- MAIN MALL BUILDING HAS MAJOR RENOVATION W/ SIGNIFICANT IMPACT TO WEST FACE OF THE SEARS BUILDING.

THE EXISTING BUILDING WAS BUILT AS A STAND ALONE ANCHOR MALL. LIST BELOW DETAILS CODE PROVISIONS TO BE FOLLOWED IN THE CONSTRUCTION DOCUMENTS FOR THIS PROJECT.

- ALL BUILDING CONSTRUCTION - IS **TYPE II-B** - (AS OBSERVED ON SITE & W/ DWGS PROVIDED BY BUILDING OWNER) NEW CONSTRUCTION TO MATCH - TYPE II-B CONSTRUCTION (NONCOMBUSTIBLE.)
- ENTIRE BUILDING IS DESIGNED AS UNLIMITED AREA - **FULLY SPRINKLERED -NFPA 13** -THIS PROJECT IS TO ASSUME THESE SAME DESIGNATIONS.
- EXISTING SITE PROVIDES EXISTING FIRE HYDRANT COVERAGE - NO ADDITIONAL FIRE HYDRANTS NEEDED FOR PROPOSED PROJECT - REFER TO SITE PLAN AS NOTED.
- EXISTING SITE PROVIDES PAVED FIRE ACCESS ON 4 SIDES EXCEPT WHERE ABUTTING EXISTING BUILDING AREAS. - REFER TO SITE PLAN.
- CURRENT MECHANILE OCCUPANCY TO BE CHANGED TO - **ASSEMBLY OCCUPANCY -A3 & A4**
- EGRESS LIGHTING & SIGNAGE IS PROVIDED THROUGHOUT THE BUILDING AS REQUIRED BY CURRENT CODE.
- FIRE ALARM SYSTEM: NEW WITH VOICE EVACUATION.
- 250' MAX TRAVEL DIST. (IBC 1017.2)
- 75' MAX COMMON PATH OF TRAVEL (IBC 1006.2.1)

BUILDING CODE INFORMATION:

TYPE II B (NONCOMBUSTIBLE & NOT FIRE PROTECTED CONSTRUCTION.)

A OCCUPANCY A3, A4, & B **Accessory Use** - FULLY FIRE SPRINKLERED

HEIGHT: HT. 65'-0" AND 3 STORIES
LESS THAN 65'-0" HT. ONE STORY CONSTRUCTION.

OCCUPANCY SEP. 1-HR. OCCUPANCY SEPARATION WALL PROVIDED WHERE GENESIS (A OCC.) ABUTS THE AN ADJOINING BLDG. (M OCC.). (1 HR. PER IBC 508.4 TABLE -ALL AREAS SPRINKLERED)

AREA CALCULATION:

GENESIS 41,766 S.F.
GYM 42,406 S.F.
UNFINISHED 24,635 S.F.
TOTAL BLDG: 108,807 S.F.

*EXISTING SEARS ANCHOR: BUILDING AREA IS NOT CHANGING, NO INCREASED IN FLOOR AREA.

AREA INCREASE: UNLIMITED - EXISTING CONDITIONS TO BE MAINTAINED W/ FULL SPRINKLERS REWORKED AS REQUIRED BY CURRENT CODES.

KNOX BOX

The existing Knox Box from the former Sears store will be relocated as req'd. by the Fire Department.

ZONING

The zoning for the Genesis property and the surrounding area within the Macerich Campus is "CX-Mixed-Use District".

BUILDING TYPE

The building type is "Sports & Recreation, Private/Participant: Indoor". Please note that during the Pre-Submission review Item 8 from Planning/Development Services noted the Building Type as "Commercial Center".

STORMWATER

The City of Des Moines Engineering Department confirmed that the stormwater on the Macerich campus is being managed by a regional basin. The basin is located south of the Movie Theatre. No future action is required for this project. The basin is noted on the adjacent Mall Property Plan.

UTILITIES

Sec. 135-9-2
All existing utilities that serve the Genesis space are underground. This project plans to reuse all the existing utilities.

SITE AREA - Calculations:

On the adjacent Site Plan, the dot hatch indicates the Pervious Area.

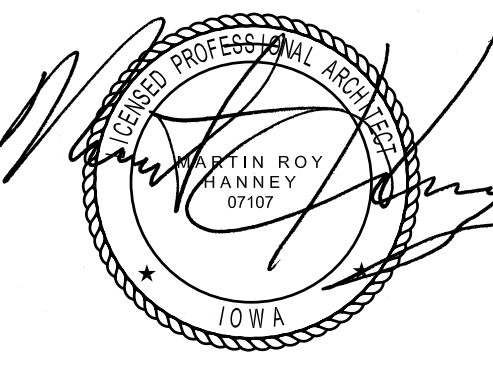
The site contains 13.2 acres (574,992 square feet more or less).

22,577 square feet of pervious area, total
22,577 square feet of pervious area-existing.
0 square feet of pervious area-new.

543,176 square feet of impervious area-existing.

4% of the site is pervious.
96% of the site is impervious

PROJECT CERTIFICATION:
ARCHITECT:
HANNEY & ASSOCIATES ARCHITECTS
1726 South Hillside
Wichita, Kansas 67211
(316) 683-8965 phone
(316) 684-1441 fax
Contact: Martin Hanney



HANNEY & ASSOCIATES, ARCHITECTS
1726 South Hillside, Wichita, Kansas 67211
Phone (316) 683-8965
Fax (316) 684-1441

2022 GENESIS HEALTH CLUBS
SOUTHRIDGE MALL
1111 East Army Post Road
Des Moines, Iowa 50315

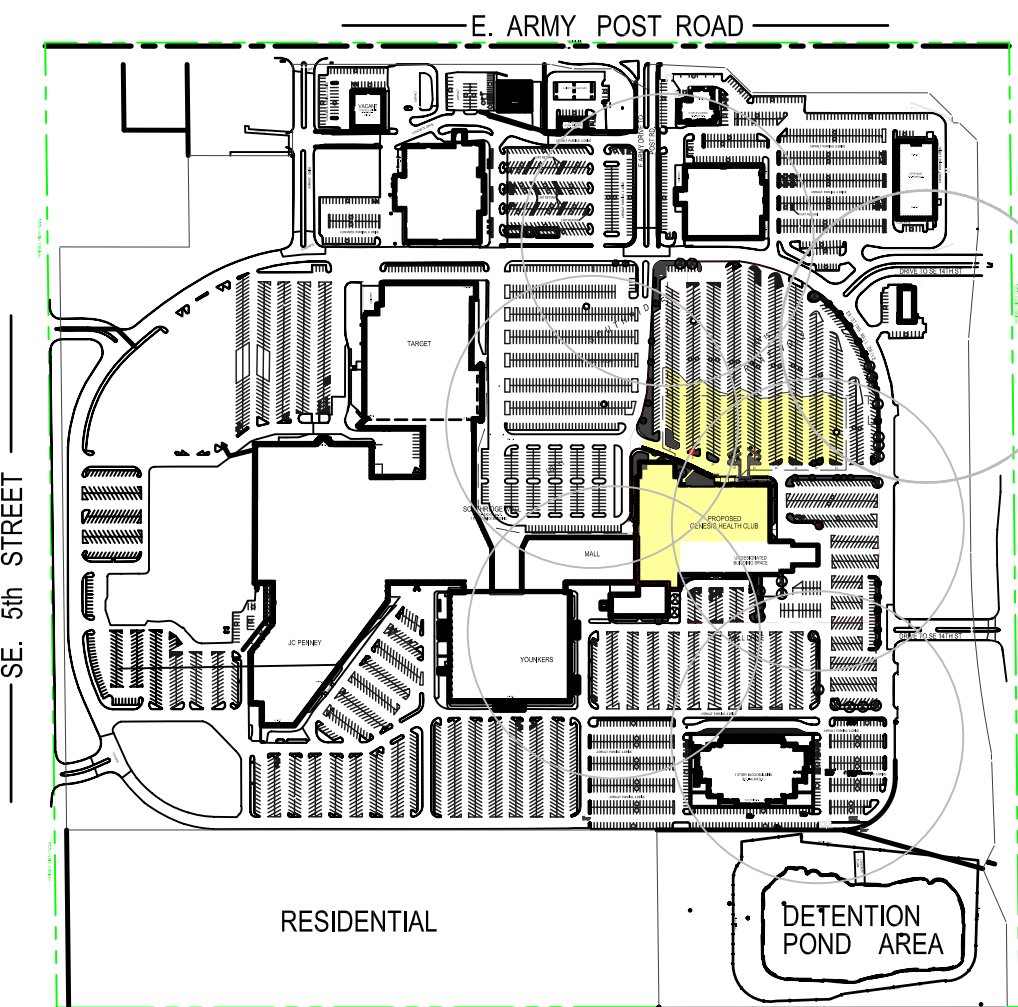


DRAWINGS ISSUED			
NO.	DATE	ITEM	ISSUED
11	4/12/22	ADDENDUM 1	
10	3/25/22	CODE REVISIONS	
9	2/11/22	PERMIT SET	
8	1/25/22	CHECK SET	
7	12/15/21	CHECK SET	
6	9/24/21	CHECK SET	
5	8/21/21	SITE PLAN REVIEW	
4	7/21/21	UDRB SUBMITTAL	
3	1/08/21	MILESTONE DEV. PLAN	
2	5/25/21	CONCEPT DEV. PLAN	
1	3/20/21	CONCEPT DEV. PLAN	

COMPUTER DRAWING	
DM5_CODE_1.dwg	

DATE: AUGUST 2021	
DRAWN BY: CHECKED BY:	
MH, CH, DH, TH, TC	MRH

SHEET	
CODE	1
OF	SHEETS



B MALL PROPERTY PLAN
NOT TO SCALE