

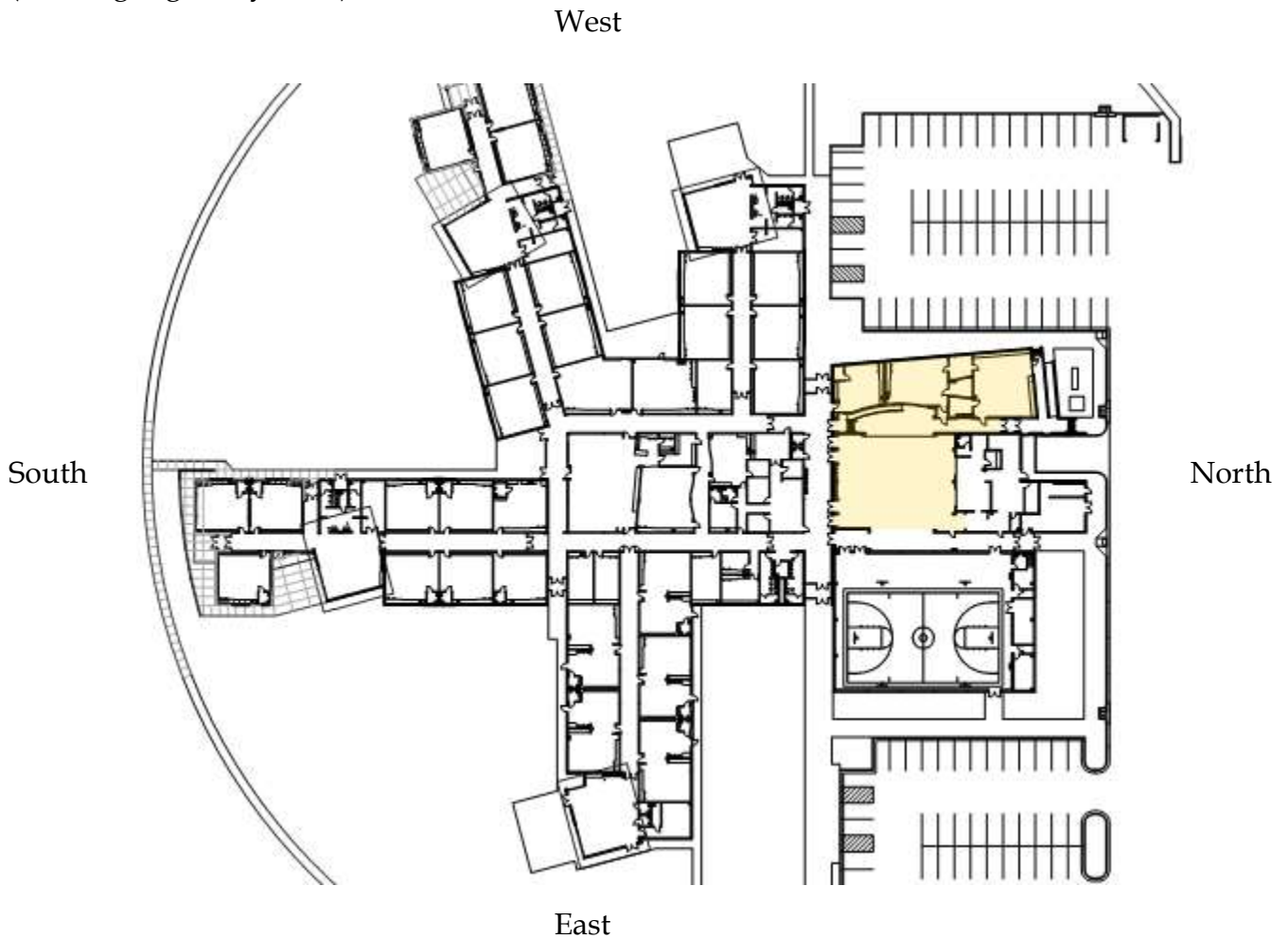


Rock Creek USD 323  
ST. GEORGE ELEMENTARY SCHOOL  
200 Blackjack Road  
St. George, Kansas 66535

Humidity Control Bid Package

October 4, 2022

The area shown with yellow on the plan below experiences high humidity during the summer months. This area consists of the music classrooms (west, highlighted yellow) and cafeteria (east, highlighted yellow).



St. George Elementary School - Floor Plan Illustration

HANNEY & ASSOCIATES ARCHITECTS  
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## INVITATION TO BID

### 1. SCOPE OF PROJECT

This Specification is intended to provide for the information necessary to bid all materials and labor necessary for the Humidity Control project at St. George Elementary School which is part of the Rock Creek Unified School District 323.

### 2. CONTRACT DOCUMENTS

Bidders may obtain electronic drawings and specifications from the office of the Architects, **HANNEY & ASSOCIATES ARCHITECTS**, 1726 South Hillside, Wichita, Kansas 67211.

### 3. PROPOSAL PROCEDURE

#### 3.1 Bid Date

- A. Sealed proposal for this project will be received by USD 323 District Office, located on the grounds of Rock Creek High School at 9353 Flush Rd, St George, KS 66535, by **Friday, October 28, 2022 CDT, up to and until 2:00 p.m.**
- B. Bids will be publicly opened with the results disclosed immediately following the close of bidding at 2:00 pm. Any proposals received after closing time will be returned unopened.

- 3.3 Should a bidder find discrepancies in, or omissions from the drawings or documents, or should the bidder be in doubt as to their meaning, the bidder shall at once notify the Architect, who will send written instructions to all proposers. Neither Owner nor Architect will be responsible for any oral instructions.
- 3.4 Proposals shall be made upon the PROPOSAL FORM or exact copy thereof bound into the specifications. Fill in all blanks on the PROPOSAL FORM clearly with ink. Erasures or other changes in a proposal must be explained or noted over the signature of the proposer. Signatures shall be in longhand by a principal duly authorized to sign contracts, and if proposal is by a corporation, the signature shall be accompanied by the corporate seal impression. Proposals shall contain neither alterations nor recapitulation of work to be done.
- 3.5 Should the Contractor fail to complete all of the work required by the Contract Documents on or before the date set by the Contractor for substantial completion, the Contractor shall pay as liquidated damages, the sum of Two Hundred (\$200.00) per day for each consecutive calendar day the work extends past that date, Sundays and legal holidays excluded.
- 3.6 Each bidder is required to bid all alternates included in the Proposal Form, except that should the bidder desire not to bid an alternate they may insert the words "no bid" in the space provided for prices for such alternate. In such case, if it is determined to use such alternate, the fact that the cost of the type or method bid in the proposal may be lower than that chosen shall not constitute the basis of a claim by the bidder that the contract shall be awarded to them. If an alternate price called for involves no change in price, the bidder shall so indicate by writing the words "no change" in the space provided.

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- 3.7 No oral or telephonic proposals or modifications will be considered. No telegraphic proposals will be considered, but modification by telegraph of proposals already submitted will be considered if received prior to time set for proposal opening.
- 3.8 Before submitting their proposal, each bidder shall carefully examine all documents pertaining to the work, visit the site of work, and fully inform themselves as to all existing conditions under which the work will be performed. Submission of a proposal will be considered presumptive evidence that the proposer is fully aware of the Contract Documents, pertinent state and markets, and has made allowances in their proposal for all work and all contingencies.
- 3.9 Any addenda issued during the time of preparation of proposals are to be acknowledged in the Proposal Form and in closing a contract, they will become a part thereof.
- 3.10 Enclose the proposal in an opaque envelope:  
Proposal For: St. George Humidity Control  
(Name of Bidder)

#### **4. GENERAL CLARIFICATIONS**

- 4.1 **Time of Completion:**  
The General Contractor will bid the completion date.
- 4.2 Testing and balancing of the mechanical equipment and kitchen equipment is not included in this bid.
- 4.3 PDF copies of some of the original construction drawings have been posted to the Architect's web page. These are for general information, and shall not be considered to be "as-built" drawings.
- 4.4 The drawings, plan holders list, and project documents can be downloaded from the architect's web site [www.haarchitects.com](http://www.haarchitects.com), then click "Shortcut to Plan Room".

#### **5. SUBSTITUTIONS**

- 5.1 The materials, products and equipment described in the bidding documents establish a standard of required function, dimension, appearance, and quality to be met by any proposed substitution.
- 5.2 No substitution will be considered unless written request for approval has been submitted by the bidder and has been received by the architect at least five (5) days prior to the date for receipt of bids. Each such request shall include the name of the material or equipment for which it is to be substituted and a completed description of the proposed substitute including drawings, cuts, performance and test data and any other information necessary for an evaluation. A statement setting forth any changed in other materials, equipment or work which incorporation of the substitute would require shall be included. The burden of proof of the merit of the proposed substitute is upon the proposer. The Architect's decision of approval disapproval of a proposed substitute shall be final.
- 5.3 If the Architect approves any proposed substitute, such approval will be set fort in an addendum. Bidders shall not rely upon approvals made in any other manner.



**6. PROPOSAL WITHDRAWAL**

A Proposal may be withdrawn on written or telegraphic request received from proposer prior to time for proposal opening. No proposal may be altered or withdrawn for a period of at least thirty (30) days after opening of proposals.

**7. AWARD OF CONTRACT**

Contract will be awarded as soon as possible to the responsible proposer submitting the most acceptable proposal (i.e. combination of Base Proposal and accepted alternates, with due consideration to unit prices), provided:

- 7.1 Evidence of the experience, qualifications and financial responsibility of the bidder and their subcontractors, and the time of completion are all acceptable to the Owner.
- 7.2 Manufacturer's Guarantee, Service Warranty and financial responsibility of manufacturer.
- 7.3 The total of acceptable proposals are within the financial budget for the project.
- 7.4 The Owner reserves the right to reject any or all proposals, to accept or reject alternate proposals and unit prices, and to waive all technicalities concerning the proposals received when it may be in his best interest to do so.
- 7.5 All Application for payments shall be submitted with paid receipts and lien releases from the Suppliers, Subcontractors and any other material or labor invoice.



**GENERAL PROPOSAL FOR  
ST. GEORGE ELEMENTARY SCHOOL  
Humidity Control**

Date: \_\_\_\_\_

The undersigned, in compliance with the invitation for bids for **St. George Elementary Humidity Control Project**, having examined the site of the work, and being familiar with all the conditions surrounding the work, hereby propose to furnish all labor, materials and supplies to do all work necessary for the project in accordance with the contract documents at the price stated below. These prices are to cover all expenses incurred in performing the required work under the Contract Documents, of which this Proposal is a part.

**BASE PROPOSAL**

For all the work described in the specifications and shown in the bid package for the **St. George Elementary Humidity Control**:

I or (we) agree to perform all the work and furnish all labor and materials complete for the sum of:

\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_ Dollars \$ \_\_\_\_\_

**TIME OF COMPLETION**

The undersigned agrees, if awarded the Contract; to complete all work by \_\_\_\_\_ (date). The undersigned further agrees that, from the compensation otherwise to be paid; the Owner may retain the sum of Two Hundred Dollars (\$200.00) for each day thereafter, Sundays and Holidays excluded, that the Contract remains incomplete, which sum is agreed upon as the proper measure of liquidated damages which the Owner will sustain per diem by the failure of the undersigned to complete the work at the time stipulated, and this amount is not to be construed as in any sense of penalty.

**ALTERNATE NUMBER ONE:** Commons Ceiling

Replace the suspended acoustical ceiling tile in the existing cafeteria dining room (tile only, grid to remain). This work shall include removal of the existing ceiling tile and providing proper disposal of waste and debris caused by this project. This alternate bid price shall include the cost for a lift required to do the work.

The amount of the Base Bid will be increased/decreased by the following amount:

\_\_\_\_\_  
\_\_\_\_\_ Dollars (\$ \_\_\_\_\_).



**ALTERNATE NUMBER TWO:** Music Wing Ceilings

Replace the suspended acoustical ceiling tile in the existing rooms in the Music Wing as illustrated on the reflected ceiling plan (tile only, grid to remain). This work shall include removal of the existing ceiling tile and providing proper disposal of waste and debris caused by this project. This alternate bid price shall include the cost for a lift required to do the work.

The amount of the Base Bid will be increased/decreased by the following amount:

---

Dollars (\$ \_\_\_\_\_).

---

**ALTERNATE THREE:** Flumes

This alternate considers the additional cost for the General Contractor to build two concrete flumes to control the storm water coming off the roof down spout, and to convey the water to the pavement. Refer to the detail shown in this bid package.

The amount of the Base Bid will be increased by the following amount:

---

Dollars (\$ \_\_\_\_\_).

---

**ALTERNATE NUMBER FOUR:** Bonding

Depending on the Bid Price, the State of Kansas may require bonding. If required, this alternate shall consider the additional cost to provide a Labor/Material and Performance Bond.

With Bonding, the amount of the Base Bid will be increased by the following amount:

---

Dollars (\$ \_\_\_\_\_).

---



**DECLARATION**

The undersigned declares that they have carefully examined and understands all Bid Documents, including Invitation to Bid, instructions to Bidders, Drawings, Specifications, and Addenda, that they has visited the location of the work and familiarized themselves with all conditions under which the work is to be performed, including all pertinent codes and the conditions of labor and material markets, that he has checked quantities and prices, that he has made allowance in his bid for all work and all contingencies, and understands that in signing this bid he waives all right to plead any misunderstanding regarding the same.

The undersigned acknowledges receipt of the following Addenda to the Drawings and/or Specifications.  
(Give number and date of each.)

_____	_____
_____	_____

Respectfully Submitted,

\_\_\_\_\_  
(Legal Name of Bidder)

\_\_\_\_\_  
(Address of Bidder)

\_\_\_\_\_  
(Signed by Authorized Officer)

\_\_\_\_\_  
(Title)

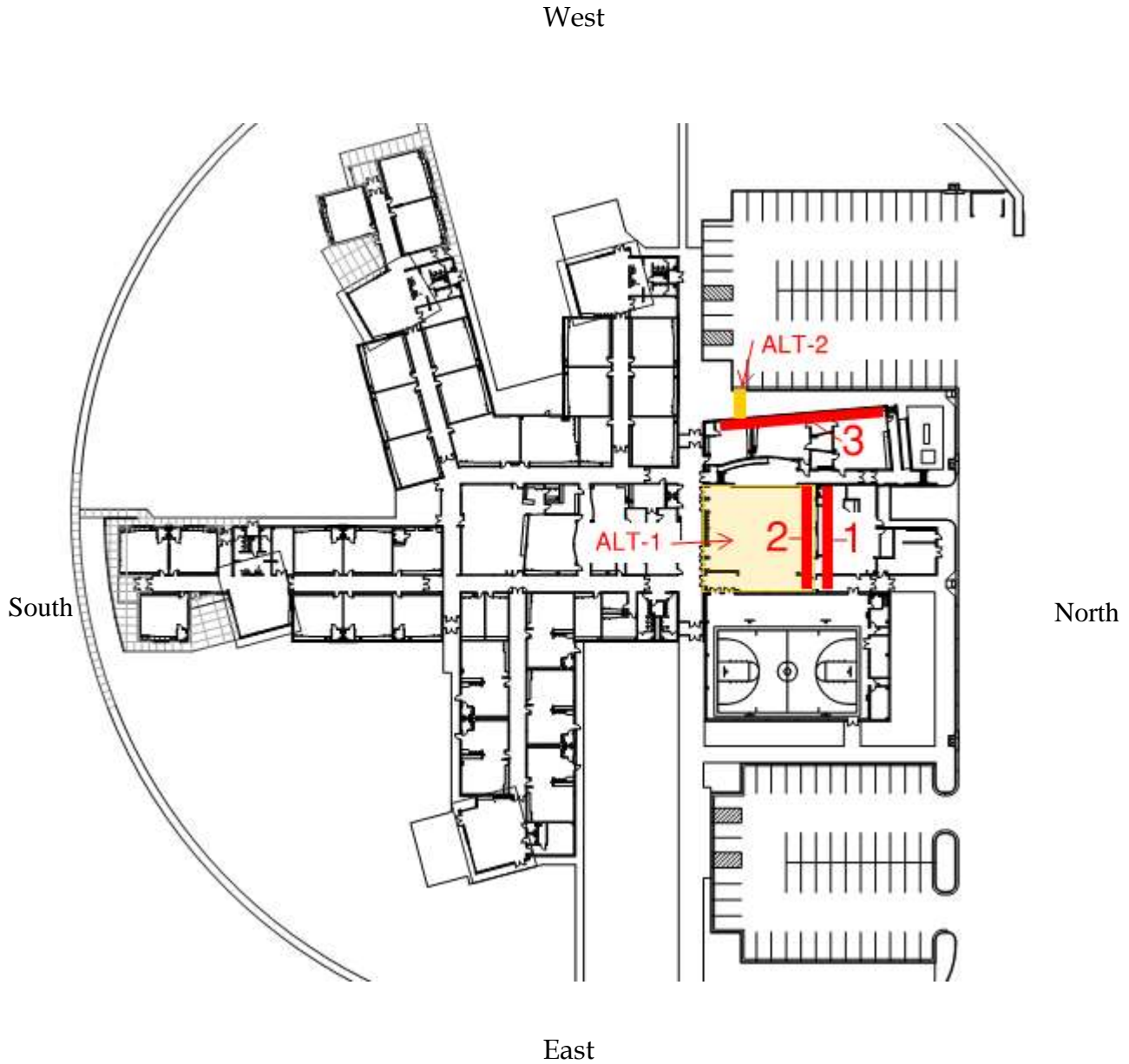
Seal  
(If bid is by a corporation)



## SCOPE OF WORK

There are three areas of work, 1-The roof above the kitchen, 2- The cafeteria dining room north wall, 3-The west wall of the music wing.

Testing and balancing of the mechanical equipment and kitchen equipment is not included in this bid.







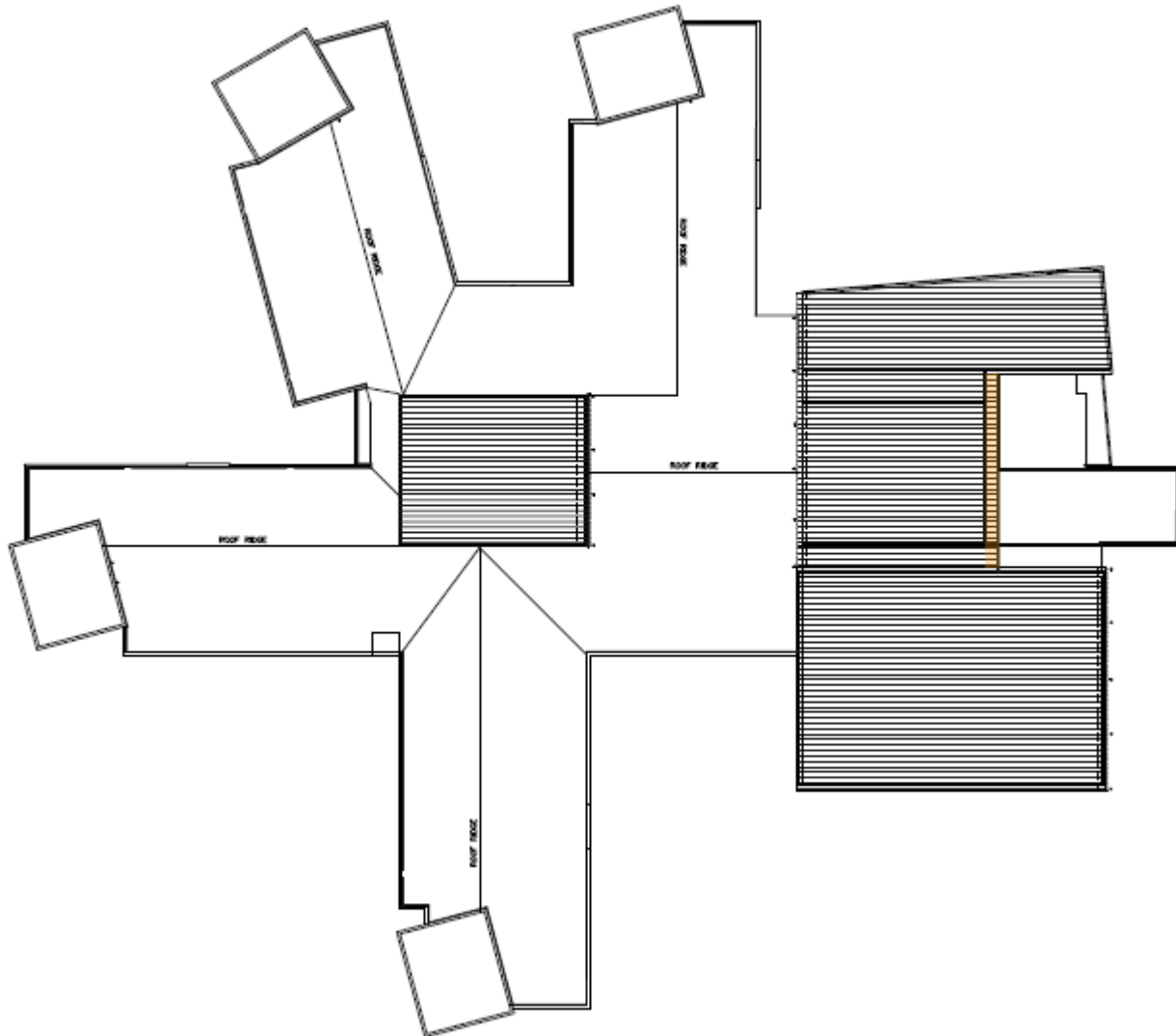
## AREA 1

This work is to be accessed from the Kitchen Roof.

The existing metal panels (fascia, soffit, and gable trim) that enclose a plenum, and the wall panel below shall be removed to allow for the installation of insulation and vapor barrier.

The yellow color indicates the location and length of the soffit that is to be insulated.

Field verify the conditions with the existing rooftop HVAC equipment and clerestory windows below the soffit. A section of the soffit is on the following page.



Roof Plan Diagram

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AREA – 1 (contin.)

The green line indicates the existing metal fascia and soffit that are to be removed, and it also indicates the location of a new 10-mil vapor barrier that is to be installed, with all joints taped and sealed.

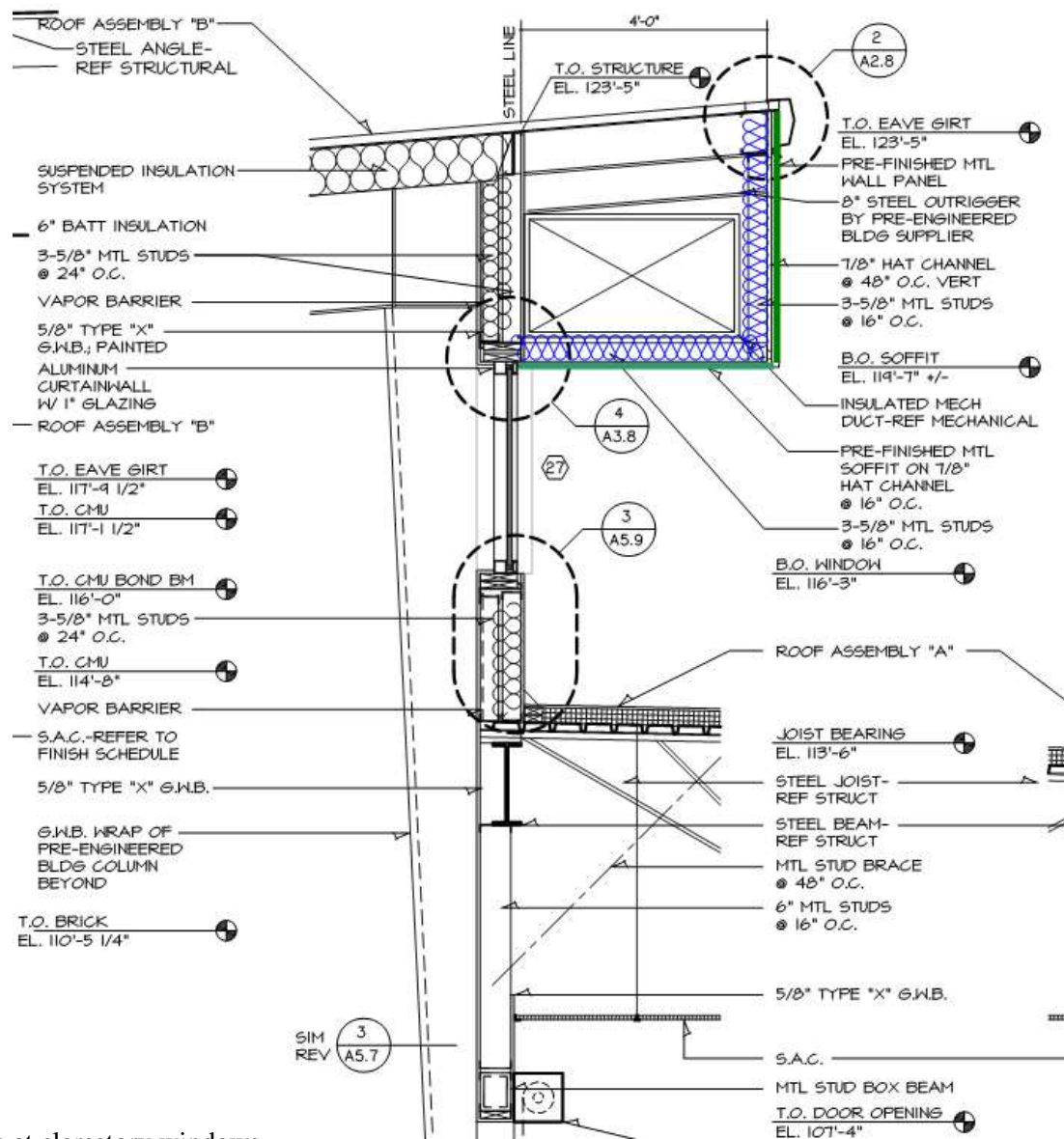
The blue indicates new 6-inch thick batt insulation that is to be installed. The batt shall be clipped and fastened to prevent it from falling out of place. All gaps and openings shall be filled with the batt insulation.

The existing roofing is to remain.

The gable trim will need to be removed and replaced.

When replacing the trim and panels, use new screws with new rubber washers.

The screws shall be prefinished to match the metal panels. The grey color is MBCI Tundra Grey.



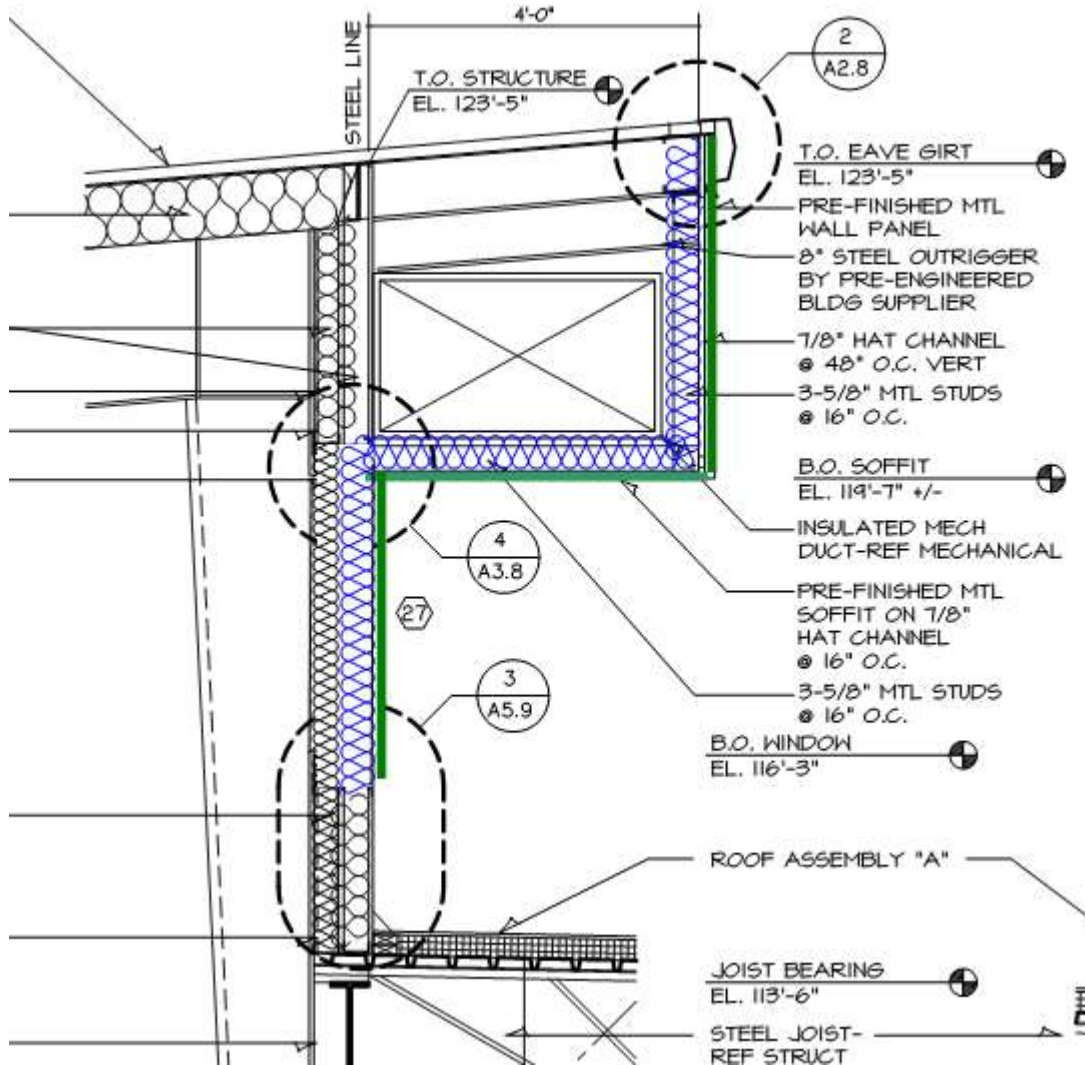
Section at clerestory windows.

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AREA - 1 (contin.)



Wall Section between the clerestory windows.

The wall panel shall be removed and new batt with 10-mil vapor barrier shall be installed, from the soffit down to the roofing transition. This can be a PEMB Simple-Saver system, or conventional construction. All openings in the vapor barrier shall be sealed / taped. The batt insulation shall be secured to prevent it from falling out of place.

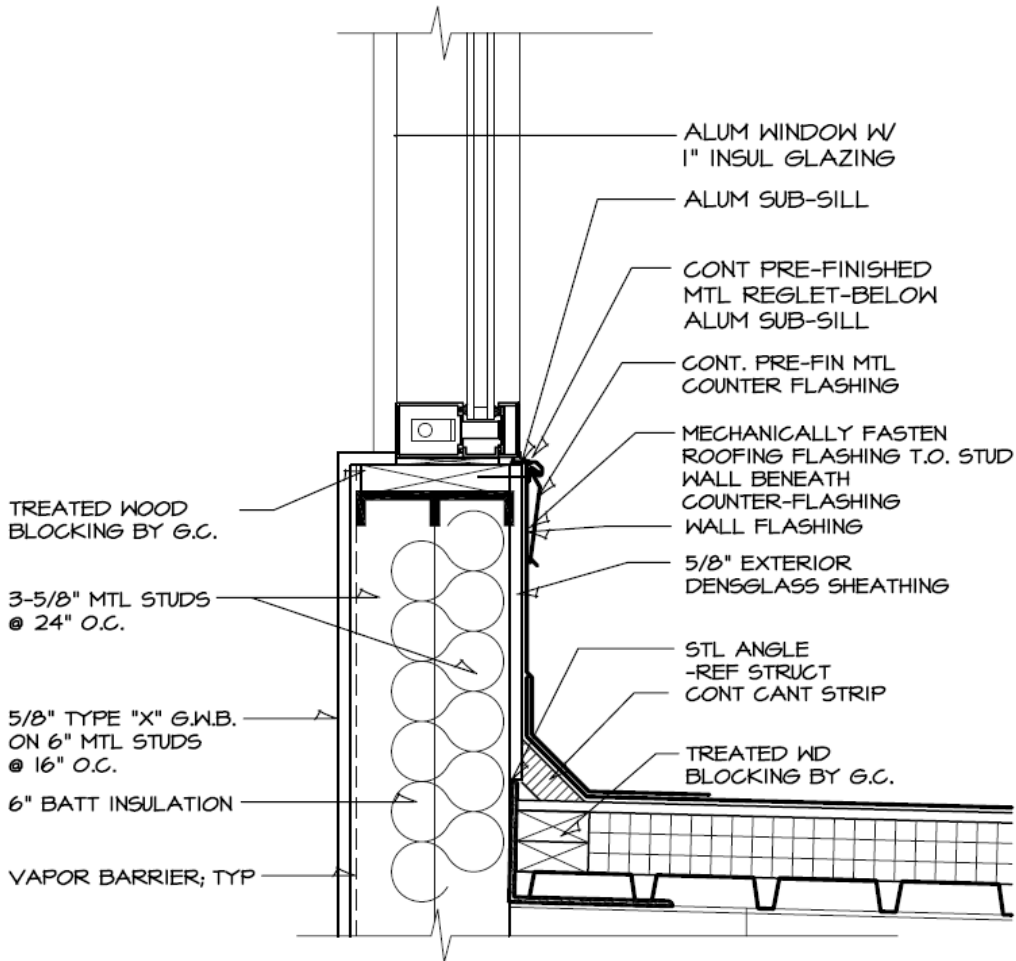
Note:

There are two-wall systems in parallel, as shown, with an air gap between them. While the wall system is open the General Contractor shall install a simple draft-stop, constructed from rigid insulation or gypsum wallboard.



AREA 1 (contin.)

The kitchen roofing extends up to the clerestory windowsill, as shown on the detail below. The PEMB wall panel can be removed and replaced without affecting the roof.



Detail 3 from original construction sheet A5.9, referenced on the partial wall section on the previous pages.



AREA 1 (contin.)



Construction photo from 6/17/2008



Construction photo showing equipment on kitchen roof.

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## AREA 2 – Cafeteria

There are a several openings in the demising wall that can allow an exchange of air from the exterior soffit (discussed in Area 1), and the ceiling cavity above the cafeteria. These gaps shall be sealed.

The ceiling tile and grid shall be removed, as necessary, to allow for the repair work. Once this work is completed the ceiling shall be restored.

Alternate 1 considers the cost to replace the suspended ceiling tiles. The Base Bid includes replacement of the ceiling tiles. Any tiles that are damaged as a part of this work shall be replaced by the General Contractor, with new ceiling tiles that match the existing ceiling tiles.



Construction photo dated 7/21 2008

The demising wall extends up to the bottom of the PEMB roof system. The horizontal gap (wall to roof) shall be sealed with flexible caulking and tape. The now existing suspended acoustical ceiling had not been installed in this photo.

Where the ductwork penetrates this demising wall, there is a gap that shall be filled and sealed.



The gap where the demising wall meets the PEMB roof needs to be sealed.



### AREA 3 – Music Wing

The insulation and vapor barrier on the west wall of this wing has fallen off the wall above the gypsum wallboard. Work in this area shall be to reinstall the batt insulation and vapor barrier. The batt insulation shall be secured in place with straps or additional stud work.

The vapor barrier shall be re-installed and any openings shall be sealed.

Suspended acoustical ceiling and grid shall be removed as necessary to do this repair work. Once the insulation has been secured the grid and ceiling tile shall be replaced.



Construction photo from 7/21 2008.



AREA 3 (contin.)

Below are current images that show a sample condition of batt and vapor barrier that has failed. The vapor barrier shall be extended up and around the steel beam, and taped to the PEMB roof above.







## ALTERNATE ONE - Commons Ceiling

The existing cafeteria dining room (yellow tint on the diagram below).

This alternate considers the additional cost to the Base Bid for the contractor to remove and properly dispose of the existing suspended acoustical ceiling tile, and replace them with new ceiling tile. The existing grid, lights, and registers are to remain, although some components will need to be cut into the new ceiling tile.

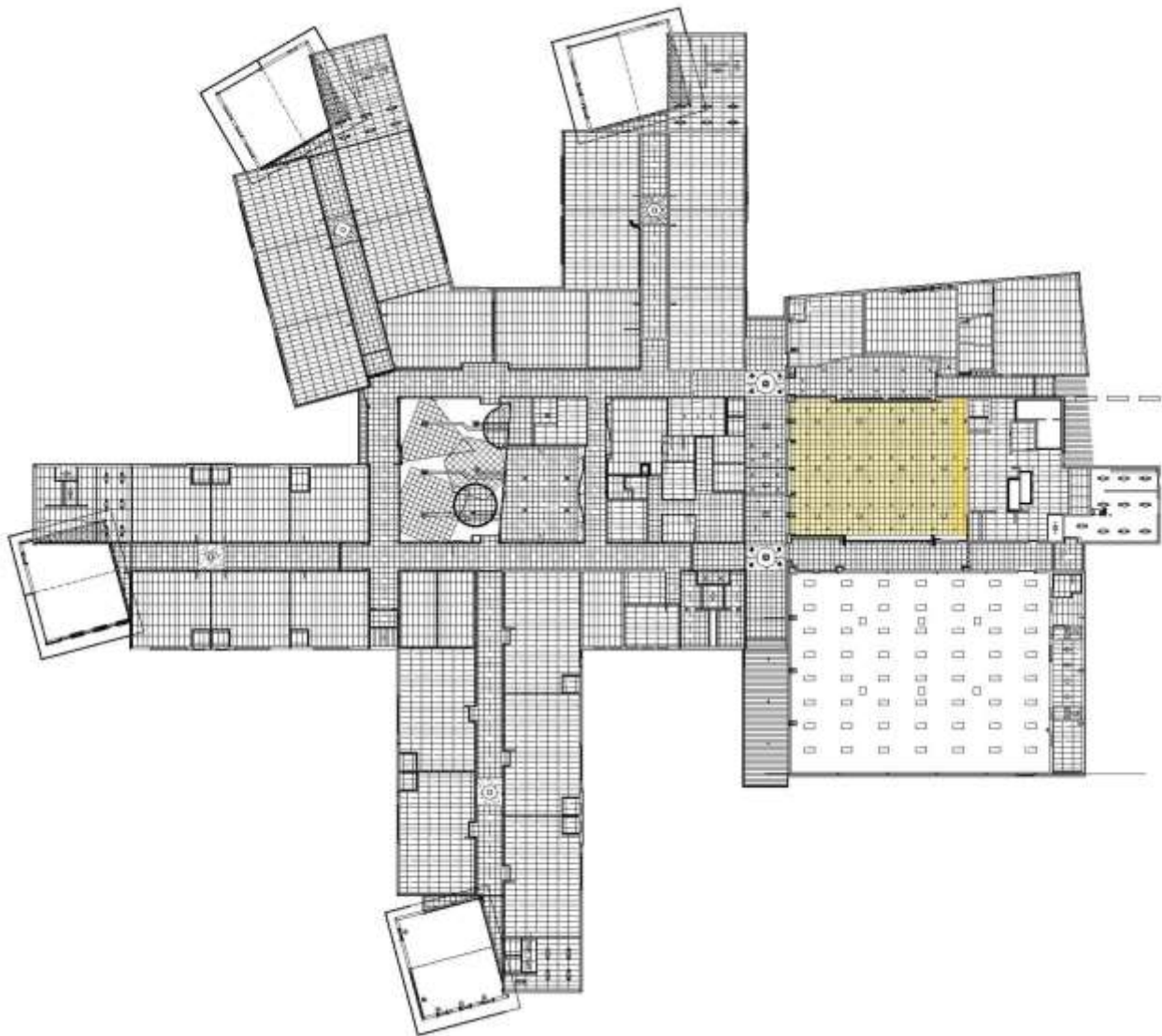
The new suspended acoustical ceiling tile shall be:

Armstrong Second Look II, (2 x 4 panels)

Class A fireguard, 2 x 4 panels with look of 2 x 2, Cortega, angular tegular.

Item number 2758M or USG #2742.

Verify with Owner that this is the tile they are currently using prior to ordering.

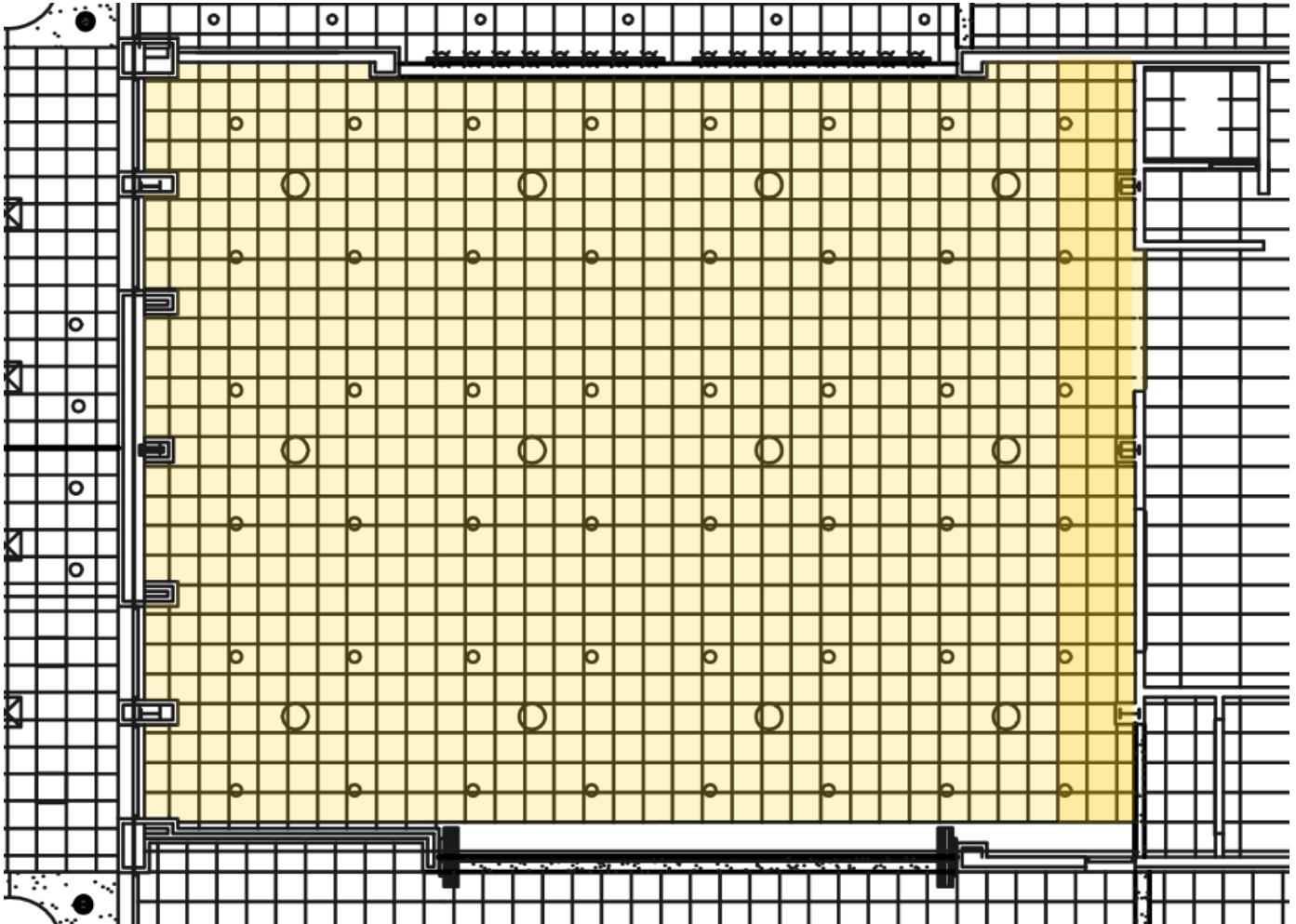


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ALTERNATE ONE (contin.)



The kitchen and serving line are located north of the cafeteria.

The Base Bid will require the removal of some of the ceiling tile in the cafeteria, and possibly the grid, to make the repairs to the wall at the duct penetrations and other openings in the wall. This is illustrated by the darker shade of yellow on the drawing above.

The Base Bid work is not effected by Alternate One, and shall be completed with or without acceptance of Alternate One.

Alternate One for the Cafeteria is illustrated by the lighter shade of yellow on the plan above.



## ALTERNATE TWO – Music Wing Ceilings

The existing ceiling tiles shown in the rooms tinted with yellow shall be completed with acceptance of Alternate 2. This alternate considers the additional cost to the Base Bid for the contractor to remove and properly dispose of the existing suspended acoustical ceiling tile, and replace them with new ceiling tile. The existing grid, lights, and registers are to remain, although some components will need to be cut into the new ceiling tile.

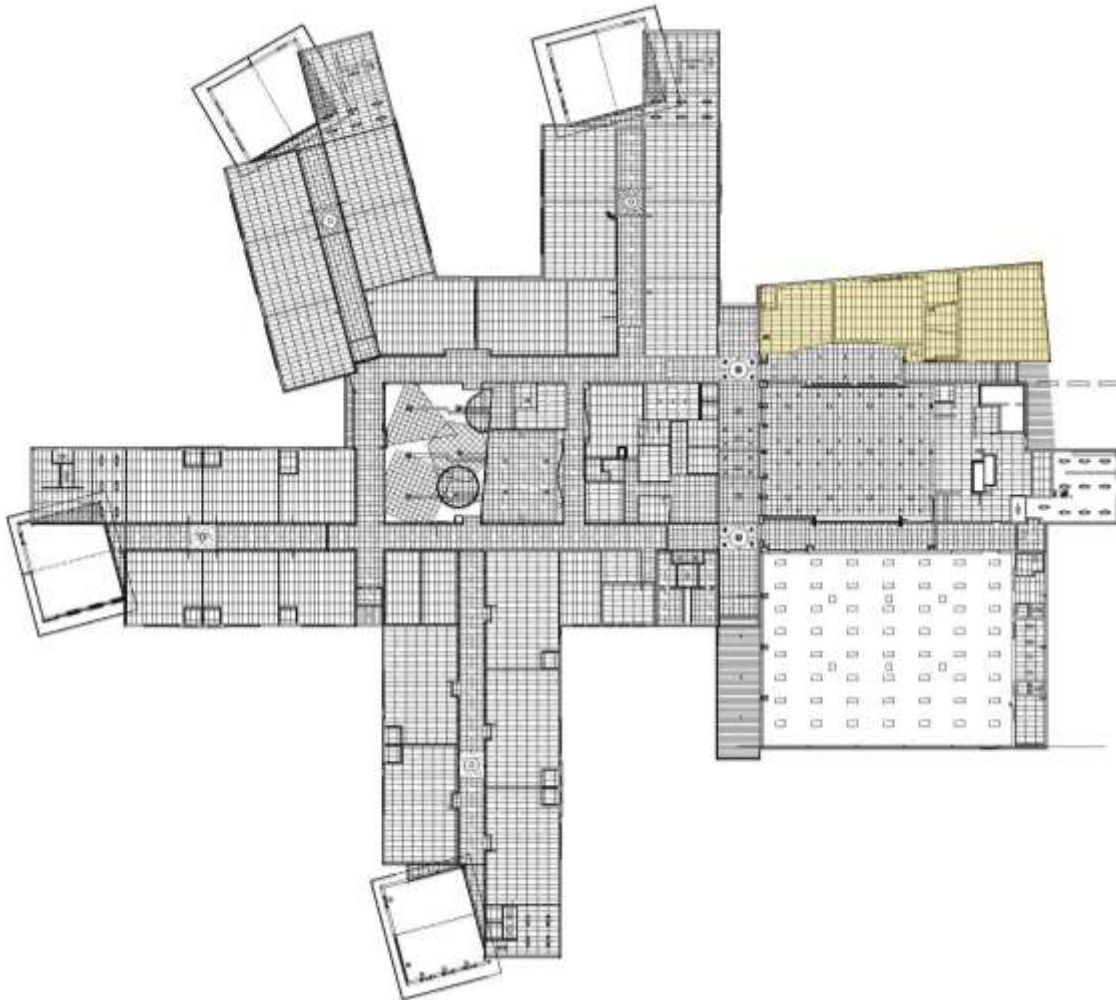
The new suspended acoustical ceiling tile shall be:

Armstrong Second Look II, (2 x 4 panels)

Class A fireguard, 2 x 4 panels with look of 2 x 2, Cortega, angular tegular.

Item number 2758M or USG #2742.

Verify with Owner that this is the tile they are currently using prior to ordering.



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### ALTERNATE THREE - Flumes

This alternate considers the additional cost to the Base Bid to construct two concrete flumes, to direct storm water from the downspouts to the pavement, and to allow storm water to drain out of the gravel planting bed.



The flumes shall be 12” wide.

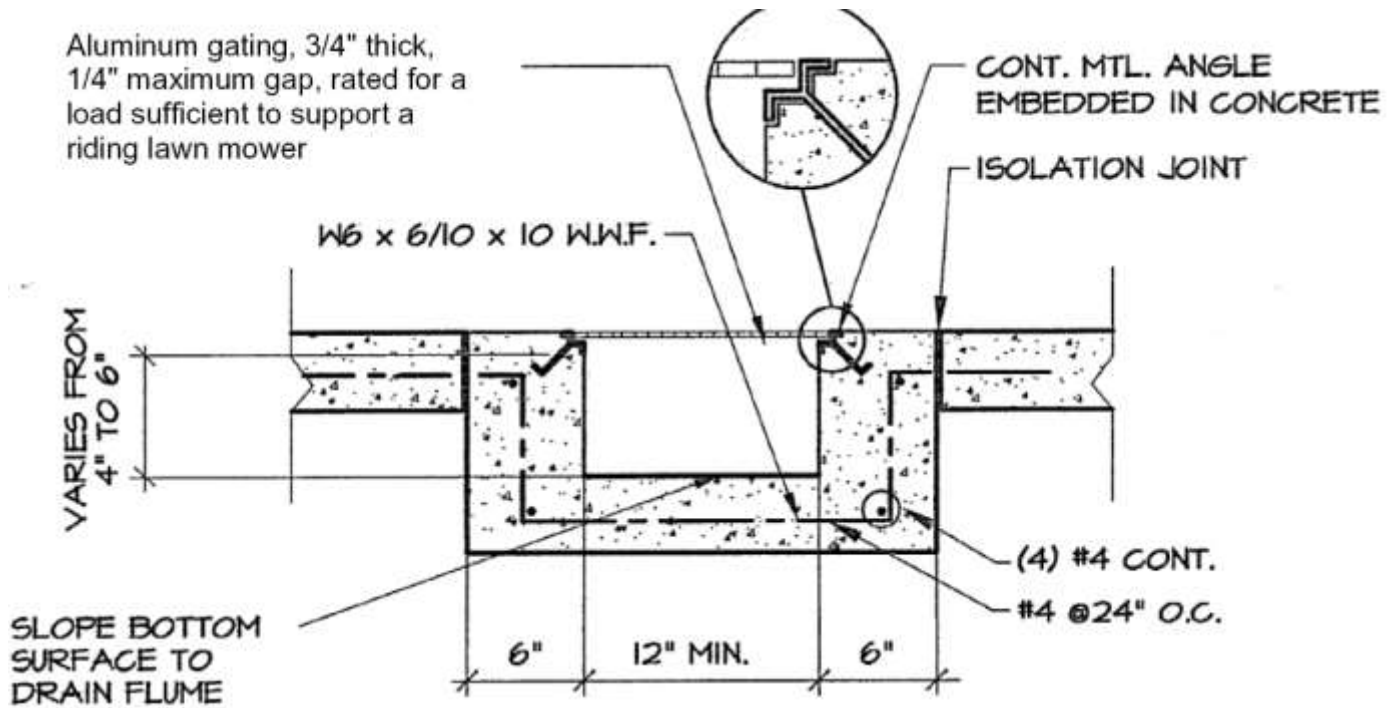
The yellow indicates the portion of the flume that shall have a grill where a person might step into the flume, where the flume crosses the sidewalk.

The blue indicates the open portion of the flume.



ALTERNATE -3 FLUME (Contin.)

Field verify the dimensions



# FLUME DETAIL

SCALE 1" = 1'-0"

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